

42. NEW STRUCTURES

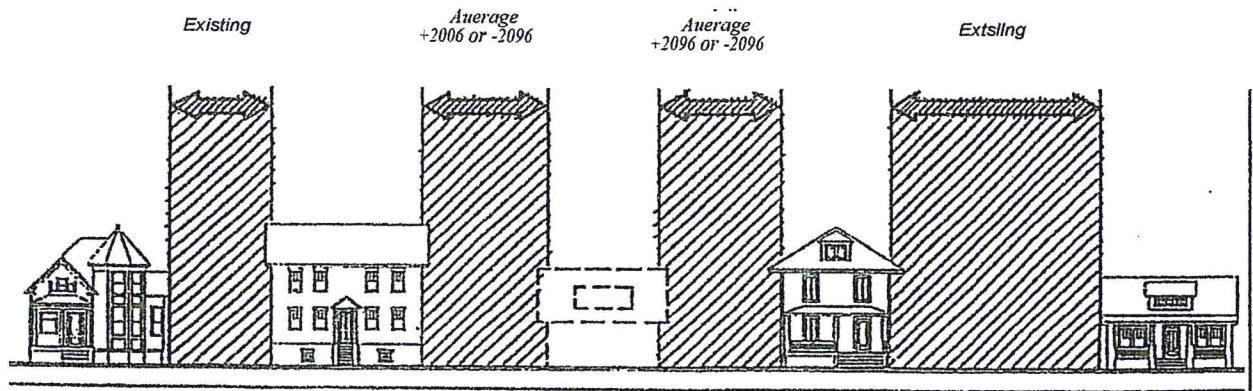
The protection of the historic architectural resources of Rogersville's local historic district does not exclude new construction, but encourages compatible new buildings that respect the district's visual and historic characteristics.

In determining the degree of compatibility, the design of a proposed new dwelling should be assessed in relation to characteristics of existing adjacent houses and houses across the street from the site of the new residence. There is a great degree of diversity within the residential district, and there is considerable latitude to develop a variety of styles in new construction.

New additions that have a significant visual impact can justifiably be categorized as "new construction" and should adhere to the following guidelines as applicable.

SETTING

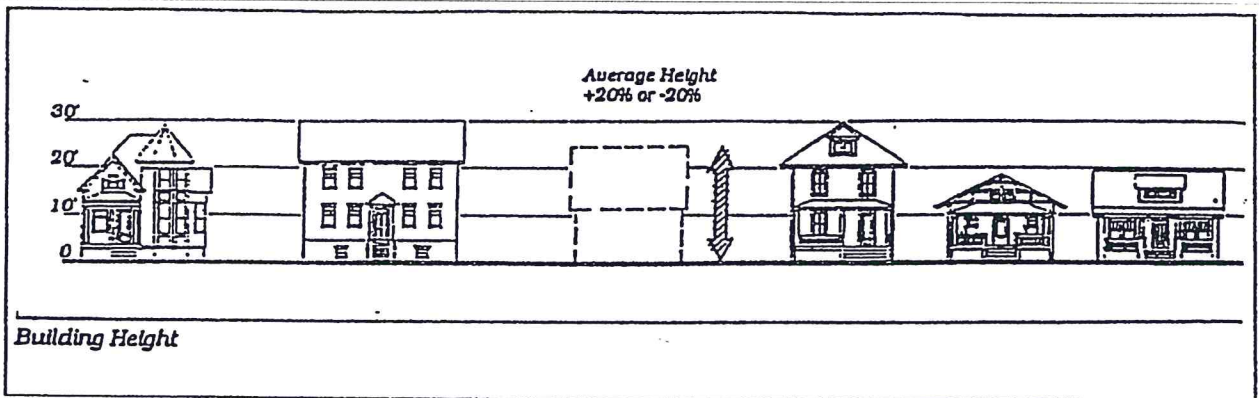
A. GUIDELINE: The setbacks of buildings from the street vary. The setback of the new building should be within twenty percent of the setbacks of the immediate neighboring dwellings.



B. GUIDELINE: The rhythm and spacing should be maintained. New buildings should reflect the existing spacing of the entire block and should be within twenty percent of that average.

C. GUIDELINE: The proportion infill buildings - the relationship of a buildings width to its height - should be similar to, and compatible with the adjacent buildings along the street.

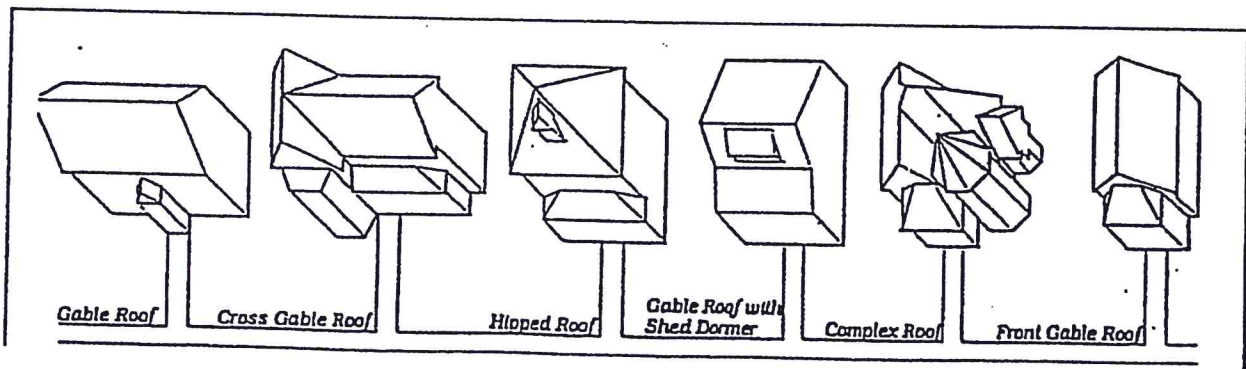
D. GUIDELINE: There are a variety of dwelling heights in the historic neighborhoods. The height of the new construction should relate to the prevailing height of the entire block estimated in feet not numbers of stories. New construction should be eighty to one hundred twenty (80 - 120%) percent of the existing average of the block.



E. **GUIDELINE:** The overall form of a building relates to a combination of massing, size, symmetry, proportion, projections, and roof shapes. Some buildings are relatively simple in terms of their shapes, while others have more variety and complexity. The forms should relate to existing conditions on the street and new forms, such as a one-story rectangular ranch house with a shallow pitched roof, are not appropriate in the historic district.

ROOFS

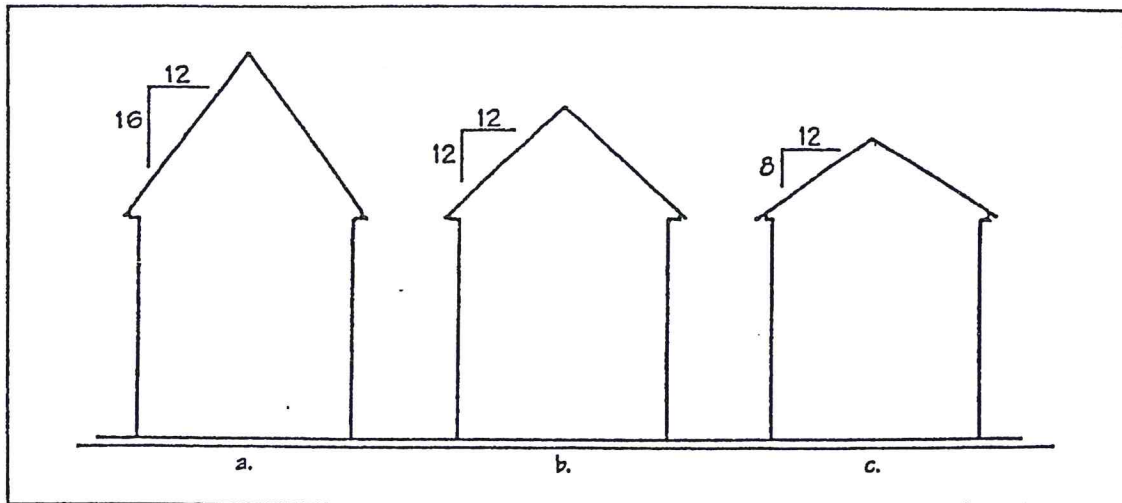
F. **GUIDELINE:** In general, the roof pitch of an older dwelling is steep.



Shallow pitched roofs and flat roofs are inappropriate. The new construction roof should be compatible with the majority of the existing roofs along the street.

G. **GUIDELINE:** Existing roof materials along the street should be considered in new construction. Many of Rogersville's roofs have standing seam metal roof or have been replaced with asphalt shingles. Therefore the material for new construction is varied and must be compatible with the existing structures on the street.

H. **GUIDELINE:** Roof slope should be compatible with the existing dwelling along the street.



FRONT ELEVATIONS, PORCHES

I. GUIDELINE: New construction shall have a front entrance addressing the street.

J. GUIDELINE: Over 85 percent of Rogersville historic houses have some type of porch and are an important element in new constructions in the residential district.

K. GUIDELINE: The rhythm, pattern and ratio of solids (walls) and voids (windows and doors) of new buildings should relate to and be compatible with adjacent elevations.

WINDOWS

L. GUIDELINE: The size and proportion of window and door openings of a new building's primary elevation should be similar to and compatible with those on the elevations of the surrounding historic buildings.

M. GUIDELINE: Window types should be compatible with those found in the district, typically some form of double-hung or casement sash. Wood, vinyl clad wood, aluminum clad wood, or solid vinyl may be approved if the window matches the existing window and meets corresponding Guideline 31 B.

N. GUIDELINE: Traditionally designed openings have a recessed jamb on masonry buildings and have a surface-mounted frame on frame buildings. New construction should follow these methods.

O. GUIDELINE: If shutters are to be used they shall fit the window opening and be attached to the structure in such a way as to appear to work.

ARCHITECTURAL DETAILS

P. GUIDELINE: The variety of architectural details in the residential district of Rogersville is tremendous, covering every style from the early 1800's to the mid 1940's and later. Such details include cornices, roof overhangs, chimneys, lintels, sills, brackets, brick patterns, shutters, entrance decorations, and porch railings. The important factor to recognize is that the older neighborhoods have decoration and noticeable detail. There is great flexibility in interpreting how these interesting elements can be used within a new construction.

LANDSCAPING - BUILDING SITE IMPROVEMENTS

The historic architecture is not the only element that helps convey the character of a preservation district. The relationship between a building and its site, landscape features, outbuildings, and other elements within a property's boundary will contribute to the distinctive image for the district. The collection of all the buildings is overall image. Site features should be considered and important part of any project to be review by the Historic Zoning Commission.

Site elements can include driveways, walkways, garages, barns, tool shed, gazebos, wells, lighting, fences, walls, signs, and trees.

- R. GUIDELINE: Garages, sheds and other outbuildings should be compatible with the design of the major building on the site. Use traditional outbuilding roof slope and materials. Metal prefabricated outbuildings should not be erected.
- S. GUIDELINE: Walls and fences are important elements in marking property lines and defining outdoor spaces. Chain link fences shall be used in the rear yard only and be of a maximum height of *four feet*.
- T. GUIDELINE: Any tree over twelve inches in diameter will need a Certificate of Appropriateness to be cut.
- U. GUIDELINE: Do not conceal or obscure the primary elevation of a building with landscaping.
- V. GUIDELINE: New retaining walls constructed of railroad timbers or plain concrete blocks shall not be used.
- W. GUIDELINE: Keep the locations of driveways and sidewalks as traditional for the neighborhood.
- X. GUIDELINE: Use brick, limestone, or concrete sidewalks where appropriate.
- Y. GUIDELINE: Screen parking lots on vacant lots, maintain setback with adjacent buildings.

APPENDIX I

GUIDELINE CHART

TYPE OF WORK	NO APPROVAL REQUIRED	COA APPROVAL REQUIRED	BUILDING PERMIT REQUIRED
ADDITIONS		X	X
ALTERATIONS (to the exterior of a structure)		X	X (Depending on the proposed work)
AWNINGS		X	
BRICK WORK		X	X
COLOR (PAINTING)		X (SEE NOTE)	
DEMOLITION		X	X
DOORS		X	
FENCES		X	
GLASS (Replacement to match original)	X	X	
GLASS (Replacement not matching original)		X	
GLASS (Removal of historic glass)		X	
GUTTER /DOWNSPOUTS		X	
LANDSCAPING	X (EXCEPT FOR FENCING AND RETAINING WALLS)		
LIGHT FIXTURES		X	
MASONRY (cleaning/repair)		X	
MECHANICAL SYSTEMS		X	X
MOVING BUILDINGS		X	X
NEW BUILDINGS/ STRUCTURES		X	X
PAINT COLORS	X		
PARKING LOTS		X	X
PORCHES		X	X

TYPE OF WORK	NO APPROVAL REQUIRED	COA APPROVAL REQUIRED	BUILDING PERMIT REQUIRED
RETAINING WALLS		X	
ROOFS		X	X
SCREENS		X	X
SHUTTERS		X	
SIDEWALKS		X	X
SIDING		X	
SIGNS		X	X
SKYLIGHTS		X	
STORM DOOR/ WINDOWS		X	
WINDOWS		X	X

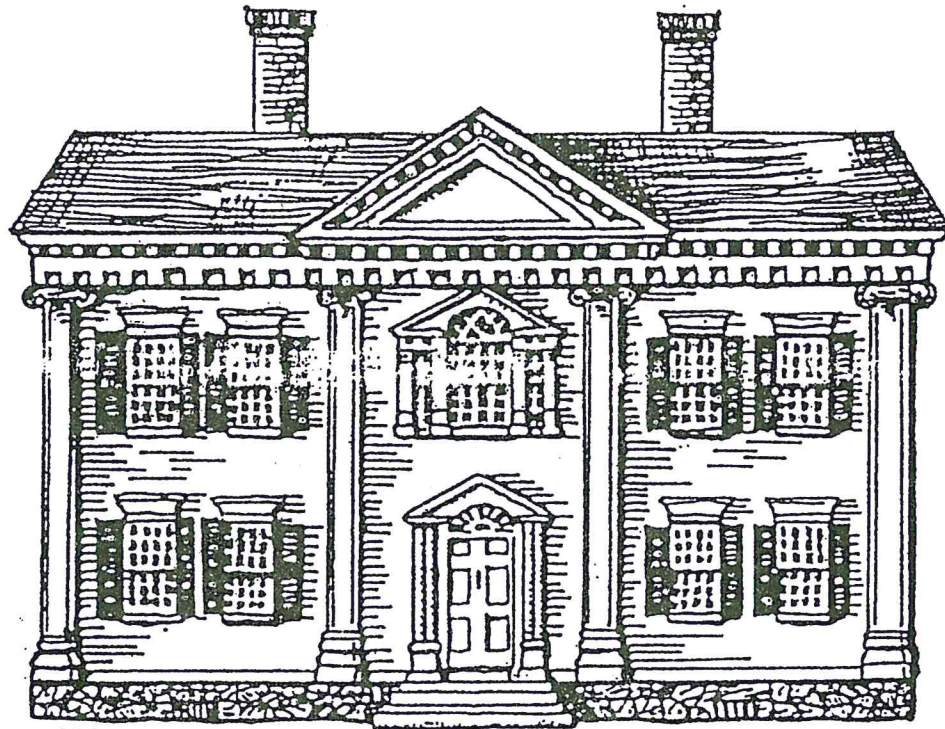
NOTE: A properly painted building accentuates and protects its character-defining details. Painting is one of the least expensive ways to maintain historic wooden fabric and make a building an attractive addition to an historic district. Many times however, buildings are painted inappropriate colors or colors are placed incorrectly. The Historic Zoning Commission reviews painting projects because of the importance of proper painting for building maintenance. It does not regulate color.

ROUTINE MAINTENANCE: The Historic Preservation Commission does not require a Certificate of Appropriateness for routine maintenance, which is defined as actions that do not constitute substantial material changes. Routine maintenance may include the following:

1. Replacement of window glass:
2. Caulking or weather-stripping:
3. Replacement of gutters and downspouts as long as the shape and location match the existing:
4. Replacement of small sections of missing, damaged, or deteriorated siding, trim, roof materials, porch flooring, or steps as long as the replacement materials match the original or existing material in profile, dimensions, and details:
5. Installation of building address numbers:
6. Repair of existing outside lighting:
7. Temporary signs such as political signs, real estate signs, etc.

APPENDIX II

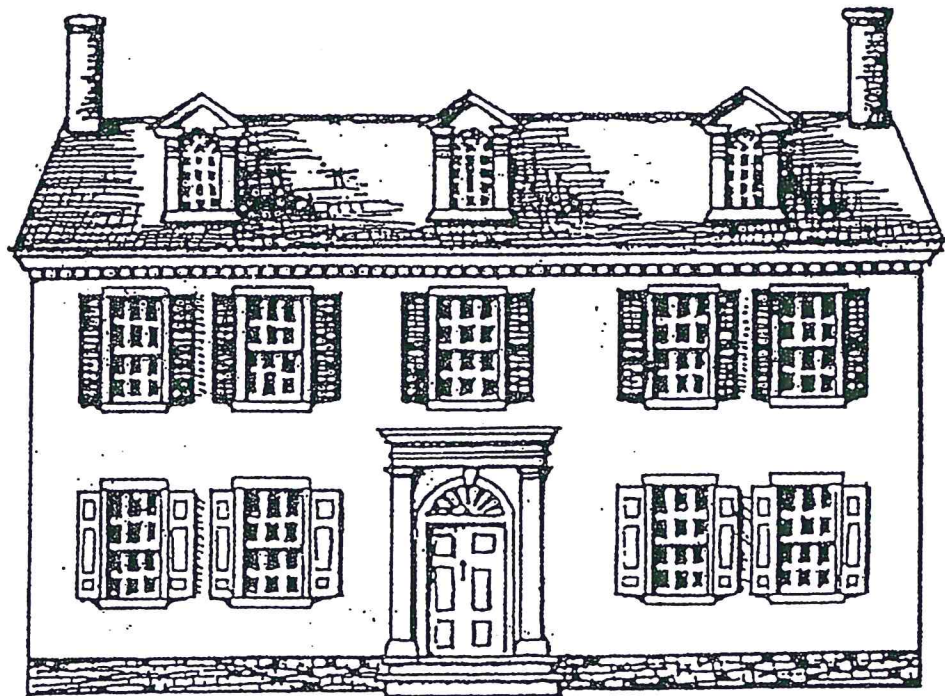
ARCHITECTURAL STYLES



Georgian 1760-1800

CHARACTERISTIC DETAILS: Heavy use of classical details...doorways surrounded with pilasters or columns, surmounted by cornice and/or pediment; semi-circular fanlight over door. Palladian (triple) window on second floor in center. Cornice on window caps. More elaborate houses would have projecting entrance pavillion topped by a pedimented gable. Use of columns and pilasters became more lavish, as did use of classical details in the cornice. Corners on masonry houses usually had stone quoins; on wood houses the quoins were often simulated in wood.

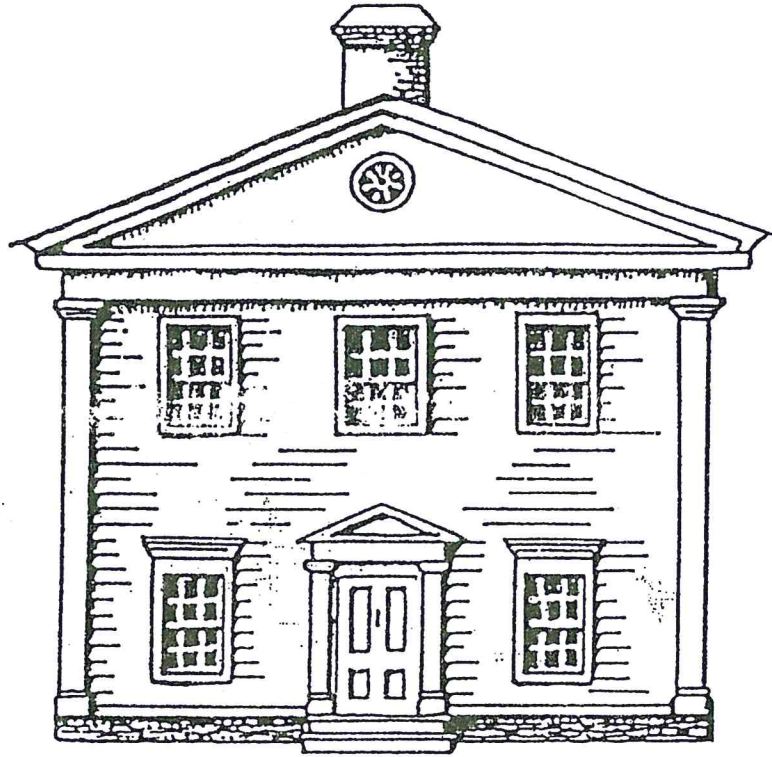
Body	Trim	Door
White	White	Dark brown
Dark brown	Same	Black-green
Barn red	Cream	Dark blue
Dark green	Any of above	Red



Federal 1780-1820

CHARACTERISTIC DETAILS: After the Revolution, house designers rejected much of the classical decoration of Late Georgian, but retained basic Roman symmetry. The result is often hard to distinguish from Early Georgian. Doorways retained pilasters and columns, usually topped with flat entablature. Elliptical fanlights over doors were popular. Simple frames around windows; corners unmarked by quoins or pilasters. Hipped roofs became more common, sometimes rimmed by a balustrade. Flat boarding sometimes used on exterior for a more classical effect.

Body	Trim	Door
White	White	Black
Pale yellow	Cream	Natural
Cream	Same	Dark green
Medium blue	Any of above	Dark brown



Greek Revival 1815-1860

CHARACTERISTIC DETAILS: Emphasis on columns (or pilasters), capitals and low triangular gabled pediment—all to create the effect of a Greek temple. Focus shifted from the long side of the house to the gabled end. Pedimented gable appears to rest on classical entablature, which is in turn supported by columns. More elaborate homes had a columned entrance portico—especially popular in the south. Windows are strongly vertical, with six-over-six panes. Lines are simpler and cleaner than Roman-influenced Georgian.

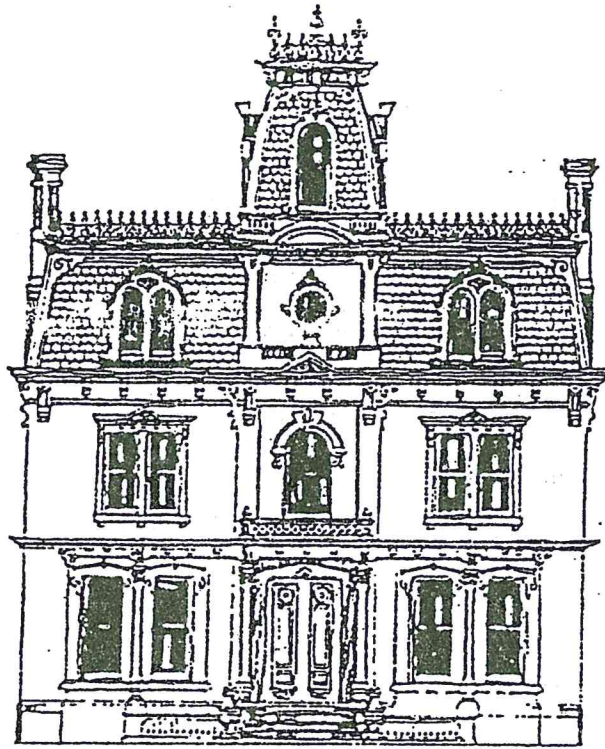
Body	Trim	Door
White	Cool white	Dark green
Pale yellow	Dark green	Medium blue
Light gray	Sandstone	Black
Sandstone	Any of above	Any of above



Classic American Farmhouse 1800 -1920

CHARACTERISTIC DETAILS: This vernacular structure is a direct descendant of the Colonial house. They have been built in rural areas from the 1700's up to the 1900's. It has a large boxy shape, usually 2 or 2 ½ stories high; small roof overhang; simple treatment of the cornice. Windows are placed symmetrically in bays. Wings and ells often show where additions have been made. Horizontal clapboard siding predominates, with narrow corner boards; trim around doors and windows is often simple flat boards. Broad porches were often added in late 19th century.

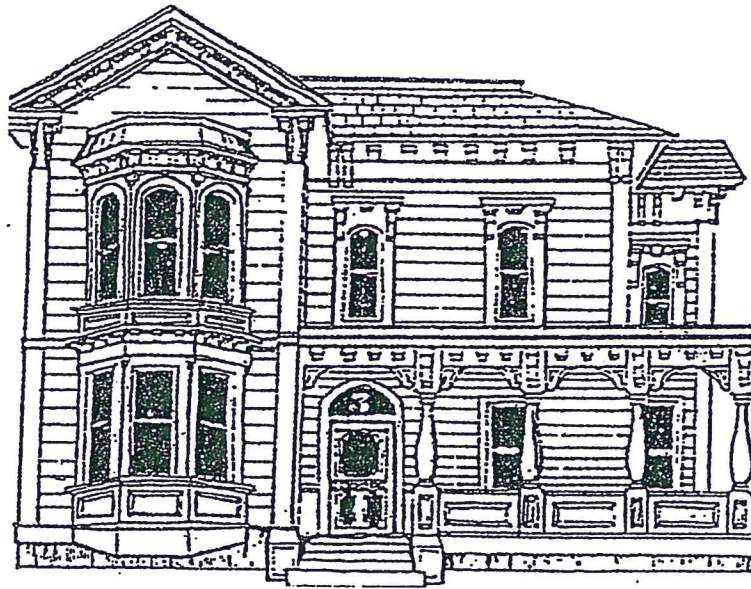
Many were painted white, sometimes with red roofs. Often these houses were painted plainly all in one color, with only the doors colored dark brown or red for contrast.



Mansard 1860-1885

CHARACTERISTIC DETAILS: Easily recognized by highly distinctive roof line. Extra living space on top floor is gained by bending out the slope of the roof. The Mansard roof is pierced by a dazzling variety of dormer windows: Rectangular, pointed, gabled, round--even double rows of dormers. Dormers often ornamented with pediments and console buttresses. Slate often used on steep slope of roof. Also called Second Empire style.

Body	Trim	Door
Dark green	Beige	Natural
Dark red	Cream	Dark brown
Brown	Light brown	Green-black
Beige	Yellow	Any of above



Vernacular Italianate 1865-1885

CHARACTERISTIC DETAILS: Many thousands of houses were constructed by carpenter/builders based on loose adaptations of the "pure" Italianate models. These adapted versions often have projecting bay windows of one or two stories. There's often a broad columned porch with decorative brackets. The roof is accented with a massive cornice with large brackets. Tall windows placed in bays dominate; window frames are usually ornate. Tops of windows and doorways are often rounded. Siding in panelled wood or clapboard.

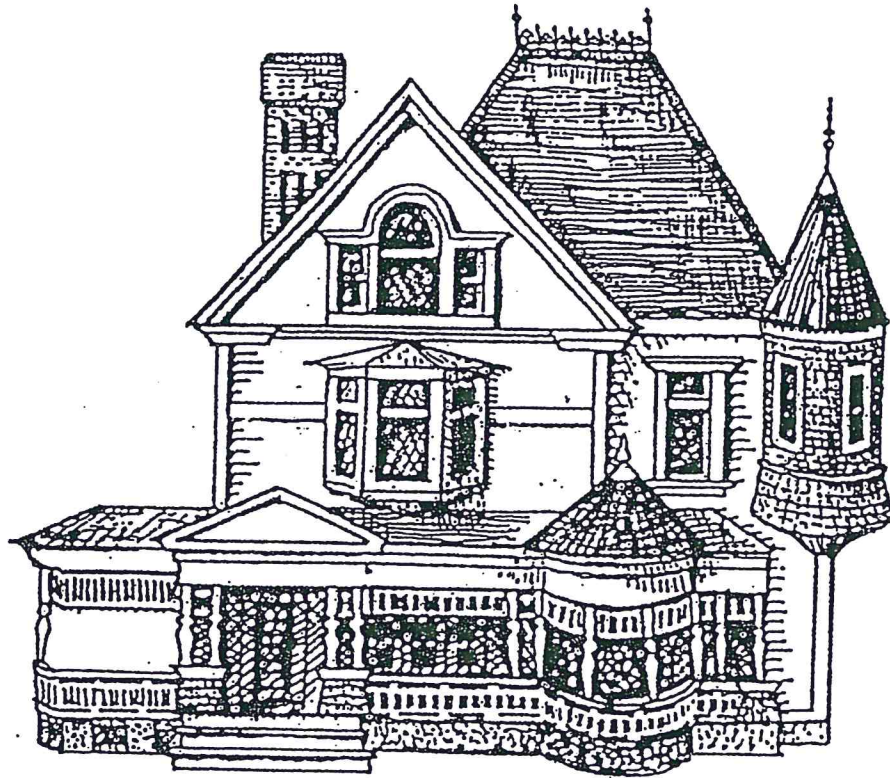
Body	Trim	Door
Warm Brown-----	Beige-----	Natural
Dark Brown-----	Warm Brown-----	Dark Green
Dark Gray-----	Light Gray-----	Dark Brown
Light Green-----	Medium Gray-----	Any of above



Carpenter Gothic 1870-1910

CHARACTERISTIC DETAILS: Sawn wood ornament at peaks of gables, in verge boards under gables, and on porches. Even porch railings and aprons sometimes have sawn patterns. Designs may be holes and slots cut out of wood—or pieces applied to other boards. Sawn brackets appear on porch posts and on cornice. Ornament depends more on whim of the carpenter-builder than on any architectural style. This type of ornament also called "gingerbread."

Body	Trim	Door
Rose beige	Dark brown	Natural
Light brown	Medium brown	Dark red
Dark brown	Light brown	Dark brown
Medium blue	Light gray	Dark green



Queen Anne 1875-1900

CHARACTERISTIC DETAILS: A picturesque massing of variety of shapes and textures in a non-symmetrical composition. Gables, dormers, chimneys, round turrets and oriel windows used freely. Porches feature delicately turned spindlework; horizontal decorative bands. Brick chimneys usually fluted, with large caps. In brick, terra cotta used for decoration. In wood, smooth boards are mixed with clapboards and shingles for variety.

QUEEN ANNE COLOR SCHEMES		SHINGLES		TRIM		SASH		BLINDS									
		Dark red	Reddish brown	Warm brown	Light green	Maroon	Reddish orange	Bronze yellow	Dark green	Maroon	Dark red	Dark green	Olive	Dark green	Tan	Dark red	Dark blue
CLAPBOARDS	Buff	■															
	Olive	■															
	Dark brown			■													
	Gray	■															



Stick Style 1875-1900

CHARACTERISTIC DETAILS: A unique American style in which exterior decorative boards are used to give an exaggerated sense of structural support. An outgrowth of the Queen Anne and other picturesque styles, the house features an asymmetrical massing of shapes and variegated surface textures. Siding may be horizontal or vertical boards --or shingles--but the siding is always broken up into panels with flat wooden trim boards. There can be additional trim boards in "X" patterns to suggest structural bracing. Eaves are often decorated with brackets or braces.

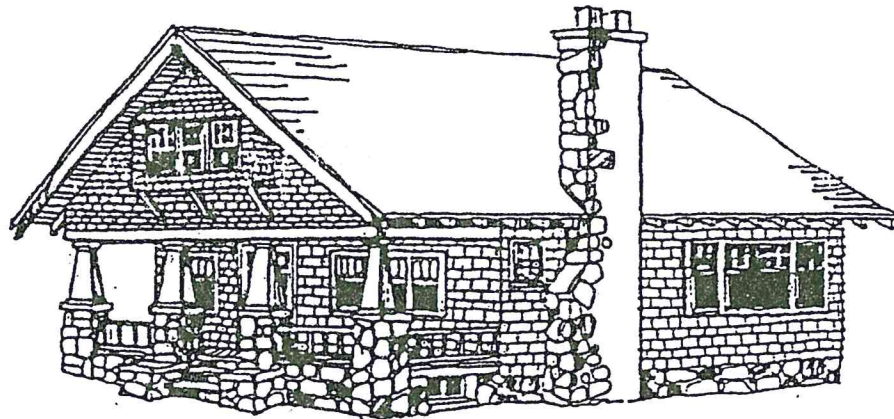
Body	Trim	Door
Medium gray	Dark gray	Oak
Indian red	Dark brown	Unpainted wood
Ochre	Green-black	Either of above
Dark blue	Beige	"



Colonial Revival 1885-Present

CHARACTERISTIC DETAILS: This style represents an attempt to go back to the U.S.'s architectural roots by re-using details from the Colonial Georgian and Federal styles. But they are grafted onto the larger houses of the late Victorian era, so the end result is heavier and more boxy than the originals. Typical features are symmetrical layout of facades, hipped or gabled roof, dormers, plus classical details such as columned porches, Palladian-style triple windows, dentilled cornices, roof balustrades. Doorways frequently have fanlights and slender sidelights.

Body	Trim	Door
White	Cream	Oak
Light yellow	Warm white	Unpainted wood
Tan	Any of above	Either of above
Medium gray	"	"



Bungalow 1900 - 1930

CHARACTERISTIC DETAILS: Simple wood frame construction with clapboard, shingle or stucco sheathing. Main roof usually extends forward to cover front porch. Square "elephantine" porch posts; broad roof overhang with exposed rafter ends and sometimes knee brackets. Chimney and porch foundation often made from fieldstone. Has a plain block-like appearance with simple, informal open floor plan. Generally one full storey with a second storey under the roof. Projecting beams and trellises are common; roofs generally covered with wood or composition shingles.

These bungalows, like other turn-of-century styles—Tudor, Shingle—were unpainted. The natural materials used, stone and wood, were untreated except for an occasional stain to darken the wood. Stucco, too, was left a natural color.

APPENDIX III

**GLOSSARY OF
DEFINITIONS AND TERMS**

A. Procedural Definitions

Certificate of appropriateness: A document awarded by a preservation commission allowing an applicant to proceed with a proposed alteration, demolition, or new construction in a designated area or site, following a determination of the proposal's suitability according to applicable criteria.

Due process: The established procedure by which legal action is carried out.

Normally Required: Mandatory actions, summarized in the guidelines, whose compliance is enforced by the preservation commission.

Public notice: The classified advertisement of an event, such as a preservation commission meeting, that is published in the local newspaper and posted in the city government building in order to notify the general public on the upcoming event.

Guideline: Recommended, but not mandatory actions summarized in the guidelines.

B. Technical Definitions

Adaptive Use: Rehabilitation of a historic structure for use other than its original use such as a residence converted into offices.

Addition: New construction added to an existing building or structure.

Alteration: Work which impacts any exterior architectural feature including construction, reconstruction, repair, or removal of any building element.

Appropriate: Especially suitable or compatible.

Building: A structure used to house human activity such as dwelling or garage.

Character: The qualities and attributes of any structure, site, street or district.

Commission: The Rogersville Historic Preservation Commission.

Configuration: The arrangement of elements and details on a building or structure that help to define its character.

Contemporary: Reflecting characteristics of the current period. Contemporary denotes characteristics that illustrate that a building, structure, or detail was constructed in the present or recent past rather than being imitative or reflective of a historic design.

Compatible: In harmony with location and surroundings.

Context: The setting in which a historic element, site, structure, street, or district exists.

Demolition: Any act that destroys in whole or in part a building or structure.

Demolition by Neglect: The destruction of a building or structure through abandonment or lack of maintenance.

Design Guidelines: Criteria developed by the community and the preservation commission to identify design concerns in an area and to help property owners ensure that rehabilitation and new construction respect the character of designated buildings and districts.

Element: A material part or detail of a site, structure, street, or district.

Elevation: Any one of the external faces or elevations of a building.

Fabric: The physical material of a building, structure, or community, connoting an interweaving of component parts.

Harmony: Pleasing or congruent arrangement.

Height: The distance from the bottom to the top of a building or structure.

Historic District: A geographically definable area with a significant concentration of buildings, structures, sites, spaces, or objects unified by past events, physical development, design, materials, workmanship, sense of cohesiveness or related historical and aesthetic associations. The significance of a district may be recognized through listing in a local, state, or national landmarks register and may be protected legally through enactment of a local historic district ordinance administered by a historic district board or commission.

Historic Imitation: New construction or rehabilitation where elements or components mimic an architectural style but are not of the same historic period as the existing buildings (historic replica).

Infill: New construction in historic districts on vacant lots or to replace existing buildings.

Landmark: A building, structure, object or site which is identified as a historic resource of particular significance.

Landscape: The totality of the built or human-influenced habitat experienced at any one place at any one time. Dominant features are topography, plant cover, buildings, or other structures in historic areas and districts.

Maintain: To keep in an existing state of preservation or repair.

Material Change: A change that will affect either the exterior architectural or environmental features of an historic property or any structure, site, or work of art within an historic district.

New Construction: Construction that is characterized by the introduction of new elements, sites, buildings, or structures or additions to existing buildings and structures in historic areas and districts.

Obscured: Covered, concealed, or hidden from view.

Preservation: Generally, saving from destruction or deterioration old and historic buildings, sites, structures, and objects and providing for their continued use by means of restoration, rehabilitation, or adaptive use.

Proportion: Harmonious relation of parts to one another or to the whole.

Reconstruction: The act or process of reproducing by new construction the exact form and detail of a vanished building, structure, or object, or a part thereof, as it appeared to its historical, architectural, and cultural values.

Rehabilitation: The act or process of returning a property or building to usable condition through repair, alteration, and/or preservation of its features which are significant to its historical, architectural, and cultural values.

Restoration: The act or process of accurately taking a building's appearance back to a specific period of time by removing later work and by replacing missing earlier features to match the original.

Retain: To keep secure and intact. In the guidelines "retain" and "maintain" describe the act of keeping an element, detail, or structure and continuing the same level or repair to aid in the preservation of elements, sites and structures.

Re-use: To use again. An element, detail, or structure might be reused in historic districts.

Rhythm: Movement or fluctuation marked by regular occurrence or natural flow of related elements.

Routine Maintenance: Actions that do not constitute substantial material changes. Routine maintenance may include the following:

1. Replacement of window glass:
2. Caulking or weather-stripping:
3. Replacement of gutters and downspouts as long as the shape and location match the existing:
4. Replacement of small sections of missing, damaged, or deteriorated siding, trim, roof materials, porch flooring, or steps as long as the replacement materials match the original or existing material in profile, dimensions, and details:
5. Installation of building address numbers:
6. Repair of existing outside lighting:
7. Temporary signs such as political signs, real estate signs, etc.

Scale: Proportional elements that demonstrate the size, material, and style of buildings.

Setting: The sum of attributes of a locality, neighborhood, or property that defines its character.

Significant: Having particularly important association within the contexts of architecture, history, and culture.

Stabilization: The act or process of applying measures essential to the maintenance of a deteriorated building, as it exists at present, establishing structural stability and a weather-resistant enclosure.

Streetscape: The distinguishing character of a particular street as created by its width, degree of curvature, paving materials, design of the street furniture, and forms of surrounding buildings.

Style: A type of architecture distinguished by special characteristics of structure and ornament and often related in time; also a general quality of distinctive character.

APPENDIX IV

GLOSSARY OF ARCHITECTURAL TERMS

Addition New construction added to an existing building or structure.

Alteration Work which impacts any exterior architectural feature including construction, reconstruction, or removal of any building or building element.

Arch A curved construction of wedge-shaped stones or bricks which spans an opening and supports the weight above it. (see flat arch, jack arch, segmental arch and semi-circular arch)

Attic The upper level of a building, not of full ceiling height, directly beneath the roof.

Baluster One of a series of short, vertical, often vase-shaped members used to support a stair or porch handrail, forming a balustrade.

Balustrade An entire rail system with top rail and balusters.

Bay The portion of a elevation between columns or piers providing regular divisions and usually marked by windows.

Belt course A horizontal band usually marking the floor levels on the exterior elevation of a building.

Bond A term used to describe the various patterns in which brick (or stone) is laid, such as "common bond" or "Flemish bond".

Bracket A projecting element of wood, stone or metal which spans between horizontal and vertical surfaces (eaves, shelves, overhangs) as decorative support.

Bulkhead The structural panels just below display windows on storefronts. Bulkheads can be both supportive and decorative in design. 19th century bulkheads are often of wood construction with rectangular raised panels. 20th century bulkheads may be of wood, brick, tile, or marble construction. Bulkheads are also referred to as kickplates.

Capital The head of a column or pilaster.

Casement window A window with one or two sashes which are hinged at the sides and usually open outward.

Classical order Derived from Greek and Roman architecture, a column with its base, shaft, capital and entablature having standardized details and proportions, according to one of the five canonized modes: Doric, Tuscan, Ionic, Corinthian, or Composite.

Column A circular or square vertical structural member.

Common bond A brickwork pattern where most courses are laid flat, with the long "stretcher" edge exposed, but every fifth to eighth course is laid

perpendicularly with the small "header" end exposes, to structurally tie the wall together.

Corbel In masonry, a projection, or one of a series of projections, each stepped progressively farther forward with height and articulating a cornice or supporting an overhanging member.

Corinthian order Most ornate classical characterized by a capital with ornamental acanthus leaves and curled fern shoots.

Cornice The uppermost, projecting part of an entablature, or feature resembling it. Any projecting ornamental molding along the top of a wall, building, etc.

Dentils A row of small tooth-like blocks in a classical cornice.

Doric order A classical order with simple, unadorned capitals, and with no base.

Double-hung window A window with two sashes, one sliding vertically over the other.

Eave The edge of a roof that projects beyond the face of a wall.

Elevation Any of the external faces of a building.

Engaged column A round column attached to a wall.

Entablature A part of a building of classical order resting on the column capital; consists of an architrave, frieze, and cornice.

Fenestration Thin metal sheets used to prevent moisture infiltration at joints of roof planes and between the roof and vertical surfaces.

Flat arch An arch whose wedge-shaped stones or bricks are set in a straight line; also called a jack arch.

Flemish bond A brick-work pattern where the long "stretcher" edge of the brick is alternated with the small "header" end for decorative as well as structural effectiveness.

Fluting Shallow, concave grooves running vertically on the shaft of a column, pilaster, or other surface.

Foundation The lowest exposed portion of the building wall, which supports the structure above.

Frieze The middle portion of a classical cornice; also applied decorative elements on an entablature or parapet wall.

Gable The triangular section of a wall to carry a pitched roof.

Gable roof A pitched roof with one downward slope on either side of a central, horizontal ridge.

Ghosts Outlines or profiles of missing buildings or building details. These outlines may be visible through stains, paint, weathering, or other residue on a building's elevation.

Hipped roof A roof with uniform slopes on all sides.

Hood molding A projecting molding above an arch, doorway, or window, originally designed to direct water away from the opening; also called a drip mold.

Ionic order One of the five classical orders used to describe decorative scroll capitals.

Jack arch (see Flat arch)

Keystone The wedge-shaped top or center member of an arch.

Lintel The horizontal top member of a window, door, or other opening.

Masonry Exterior wall construction of brick or stone laid up in small units.

Massing The three-dimensional form of a building.

Modillion A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of a cornice.

Mortar A mixture of sand, lime, cement, and water used as a binding agent in masonry construction.

Mullion A heavy vertical divider between windows or doors.

Multi-light window A window sash composed of more than one pane of glass.

Muntin A secondary framing member to divide and hold the panes of glass in multi-light window or glazed door.

Panelled door A door composed of solid panels (either raised or recessed) held within a framework of rails and stiles.

Parapet A low horizontal wall at the edge of a roof.

Pediment A triangular crowning element forming the gable of a roof; any similar triangular element used over windows, doors, etc.

Pier A vertical structural element, square or rectangular in cross-section.

Pilaster A square pillar attached, but projecting from a wall, resembling a classical column.

Pitch The degree of the slope of a roof.

Portland cement A strong, inflexible hydraulic cement used to bind mortar. Mortar or patching materials with a high Portland cement content should not be used on old buildings. The Portland cement is harder than the masonry, thereby causing serious damage over annual freeze-thaw cycles.

Preservation The act of maintaining the form and character of a building as it presently exists. Preservation stops deterioration and stabilizes the structure.

Pressed tin Decorative and functional metalwork made of molded tin used to sheath roofs, bays, and cornices.

Quoins A series of stone, bricks, or wood panels ornamenting the corners of a building.

Ridge The top horizontal member of a roof where the sloping surfaces meet.

Rusticated Roughening of stonework or concrete blocks to give greater articulation to each block.

Sash The moveable framework containing the glass in a window.

Segmental arch An arch whose profile or radius is less than a semicircle.

Semi-circular arch An arch whose profile or radius is a half-circle the diameter of which equals the opening width.

Shed roof A gently-pitched, almost flat roof with only one slope.

Sidelight A vertical area of fixed glass on either side of a door or window.

Siding The exterior wall covering or sheathing of a structure.

Sill The bottom crosspiece of a window frame.

Surround A encircling border or decorative frame, usually at windows or doors.

Transom A horizontal opening (or bar) over a door or window. (see Overlight)

Trim The decorative framing of openings and other features on a elevation.

APPENDIX V

MAINTENANCE ADVICE

MATERIALS

1. Prevent water from making contact with exterior wood siding. Of particular importance is keeping all gutters and downspouts in good repair to keep water from infiltrating the wood surface.
2. All exposed wood should be kept painted or treated with preservatives.
3. Repairs for wood siding such as cracks can be made through the use of waterproof glue or plastic wood. Large cracks may be filled with caulk followed by putty or plastic wood. The surface should then be sanded, allowed to dry, and painted.
4. Where exterior siding has to be replaced the use of pressure treated wood is recommended to prevent deterioration.
5. Oil based paints are recommended for exterior siding.
6. Keep exterior brick clean of mildew, efflorescence and dirt. Also keep exterior brick clean of vines, ivy, and other plant materials. Washing with detergents and water are best for exterior masonry and mortar. Sandblasting, water blasting and other abrasive cleaning methods are detrimental to historic buildings and should not be used.
7. Repointing of historic mortar should be with a mortar which matches the original in appearance and composition. Most mortar from before 1900 was composed of lime and sand and a mortar with similar content should be applied. The use of Portland cement is generally not appropriate due to the hardness of the mortar versus the softness of the brick.
8. Most silicone based or waterproof coatings have limited effectiveness and may actually add to moisture problems by not allowing the brick to breathe. The use of these products is discouraged.

ROOFS, CORNICES, CHIMNEYS

1. Check the roof regularly for leaks, deterioration of flashing, and worn roof surfaces such as rolled or asphalt shingles. An inspection of the upper floor or attic space during or following a rainstorm can also assist in detection of water related problems.
2. Know what metals are used in your cornice or roof's flashing and use only similar metals during replacement or repair. Different metals should not touch each other or a galvanic reaction may occur leading to corrosion.
3. Metal roofs and cornices should be kept painted to prevent rust and deterioration. Appropriate paints include those with an iron oxide oil base. Asphalt based paints and aluminum paints should not be used on historic metals as they could accelerate the rusting process.

4. Chimneys should be regularly checked for cracking, leaning, spalling, and infestation by birds and insects. The use of chimney caps over chimneys or flue openings is recommended to keep out moisture.

GUTTERS AND DOWNSPOUTS

1. Keep gutters and downspouts in good repair. Make sure they are properly connected, are clean of leaves and other debris, and channel water effectively away from the building. Seal all cracks in downspouts with silicone caulk or sealants.
2. The use of splash blocks to keep water away from the foundation is recommended.
3. Gutters and downspouts, which are deteriorated, should be replaced with new gutters and downspouts. Half-round gutters and round downspouts are preferable to corrugated designs.

FOUNDATIONS

1. All water should drain away from a building and should not enter the foundation.
2. Trees, shrubs, and other plants should be kept well away from the foundation to prevent damage from moisture and root movement.

PORCHES AND EXTERIOR ORNAMENTATION

1. Use pressure treated wood for exterior repairs and replacement.
2. Keep all porch and trim elements painted.

ENTRANCES

1. Doors, transoms, and sidelights should be kept clean and the glass should be continually washed.
2. Original locks and hardware should be kept oiled and in good repair. If original hardware is missing or is deteriorated, the use of reproduction locks and hardware suitable for the building is recommended.
3. Doors with stained wood finish should be kept varnished and paint over the wood finish is not recommended.

WINDOWS

1. Windows should be kept clean and free of dirt and grime. Wood sash surfaces should be painted regularly.
2. Windows should be kept caulked and sealed to aid in energy conservation.
3. Shutters and blinds should be kept painted and in good repair.
4. Old or deteriorated curtains or shades behind windows should be removed or replaced.

AWNINGS

1. Canvas awnings should be washed periodically and kept in good repair.
2. Awning hardware should be regularly checked for rust or loose mechanisms.
3. Awnings that become torn or otherwise deteriorated should be replaced.

SIGNS

1. Abandoned signs and sign hardware should be removed from buildings, unless historic.
2. Signs should be kept painted and mounting bolts should be checked periodically to make sure they are secure.
3. Light fixtures, conduits, and wiring for signs should be inspected and replaced when necessary.

APPENDIX VI

**APPLICATION PROCEDURES FOR
OBTAINING A
CERTIFICATE OF APPROPRIATENESS**

APPLICATIONS FOR A CERTIFICATE OF APPROPRIATENESS PROCEDURES

Applications may be obtained from either the Town Office or Building Inspector of the Town of Rogersville.

Completed applications must be turned in no later than ten (10) days prior to the monthly Commission meeting, first Monday at 6:00 p.m. in the Town Hall.

APPLICATION PROCEDURES

- A. An application and one (1) copy must be filed with the Town Building Inspector Office on or before ten (10) days prior to the Commission meeting.

Note: The Historic Preservation Commission does not need a complete set of plans, only those views showing the exterior of the structure ..

It is the sole responsibility of the applicant to obtain a Certification of Appropriateness before applying for a building permit. The applicant will be subject to fines for non-approved work.

- B. It shall be the policy of the Commission in regard to application involving new structures or extensive alterations and/or additions to existing structures that the Design Committee of the Commission, shall be available to meet with representatives of the persons or organizations involved in the forthcoming application, to informally offer advice in the pre-design stage concerning the Commission's guidelines, the nature of the area where the proposed construction is to take place, and other relevant factors. This committee, collectively and individually, shall refrain from any indication of approval or disapproval, but shall not, for that reason be barred from a reasonable discussion of the applicant's proposals. No advice or opinion given, or reported as having been given, by any member of the committee at such an informal meeting shall be in any way official or binding upon the Rogersville Historic Preservation Commission at any time. The Town should give notice of the need for such a conference to future applicants at the earliest appropriate time.
- C. The Commission must issue or deny a Certificate of Appropriateness within thirty days (30) after the hearing of an application, except when the time frame has been extended by mutual agreement between the applicant and the Commission.
- D. The Secretary for the Commission shall notify the applicant of the disposition of the application and shall file a copy of the decision in the Town Office. If an application is denied, such notice shall include the reasons for such additions as defined in the design guidelines.

Review Criteria

In reviewing applications for "Certificates of Appropriateness", the Commission shall take into account the historic and architectural significance of the structure. In its review, the Commission shall also take into account the following elements to ensure that the exterior form and appearance on the structure is consistent with the historic or visual character of the District:

1. The height of the building in relation to the average height of the nearest adjacent and opposite buildings.
2. The setback and placement on lot of the buildings in relation to the average setback and placement of the nearest adjacent and opposite buildings.
3. Exterior construction materials, including textures and patterns, especially color.
4. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials.
5. Roof shapes, forms, and materials.
6. Proportions, shapes, positioning and locations, patterns and sizes of any elements of fenestration.
7. General form and proportions of buildings and structures.
8. Appurtenant fixtures and other features such as lighting.
9. Structural condition and soundness.
10. Architectural Scale.

The Commission may designate more explicated design criteria, as it deems necessary, as found in the **Rogersville Historic District Design Guidelines**.

Applications must be complete to be considered by the Commission. Any questions may be directed to the Rogersville Historic Zoning Commission

Agenda items are taken in order. The applicant or the applicants representative should be present at the meeting for an application to be considered.

The Rogersville Historic Preservation Commission meeting shall comply to the following procedure:

- (a) Call to order;
- (b) Roll call;
- (c) Reading and approval of minutes of previous meeting;
- (d) Unfinished/old business;
- (e) New business;
- (g) Motion to adjourn.

Chairman must preview the format and order of each presentation in the Commission meeting, whether it is old business or new business.

The order shall be the following:

- (a) Statement by chairperson or Commission member as to what is involved in the application
- (b) Chair-person check for conflict of interest within the Commission members on each application
- (c) Applicant presentation of project (concise and to the point), five (5) minute time limit
- (d) Chair-person recognizes support for the project by members of the community, five (5) minute time limit
- (e) Chair-person recognizes opposition to project by members of the community, five (5) minute time limit
- (f) Applicant time for rebuttal, three (3) minute time limit
- (g) Chairperson calls for a motion; the motion must be clearly stated and reference specific guidelines
 - Motion must include:
 - Name of applicant, address, name of the project and all findings of the Commission as they pertain to the Rogersville Design Guidelines
- (h) Second to motion;
- (i) The Commission must have a full and focused discussion of pros and cons AS RELATED TO CONFORMANCE OR NON-CONFORMANCE WITH WRITTEN GUIDELINES;
- (j) Commission votes on the motion.

The Commission secretary will deliver/send the applicant a signed copy of the Certificate of Appropriateness so that work may begin.

APPENDIX VII

CERTIFICATE OF APPROPRIATENESS

ADDITIONAL INFORMATION TO BE SUBMITTED WITH APPLICATION

1. Exterior Alteration or Repair

Describe clearly and in detail all work to be done. Include the following items where appropriate:

- A. For siding or roofing, provide manufacturer's illustration of materials and color samples. (Include existing dimensions of siding overlap width. Describe existing roofing material such as color and overlap or width.)
- B. For painting, provide description of placement of color and preparation for painting.
- C. For window, porch or railing replacement, provide dimensioned drawings or manufacturer's catalog pictures, if using stock materials. Include description of damaged material to be repaired along with a photograph documenting the damaged original material.
- D. For other categories, provide description of materials, sizes and color of existing condition and proposed changes.

2. New Construction

Describe the nature of the proposed project. Include the following items where appropriate:

- A. Site plan with measured distances.
- B. Elevation drawings at 1/4-inch scale of each effected facade and specification which clearly show the exterior appearance of the project.
- C. Photographs of the proposed work area.
- D. Landscape Plan.
- E. Color Scheme of exterior.
- F. Samples or other description of materials to be used on exterior.
- G. Drawing or other description of site improvements: fences, walls, walks, lighting, pavements, etc.
- H. Photographs of adjacent properties.

3. Demolition of Structures

- A. Describe the structure and provide the following information: the structure's architectural/historical importance; any unique materials or craftsmanship found in the property; reason for demolition; condition of the structure; impact of demolition on the Historic District. Include photographs of all facades of building.

Return Application to: City Hall

106 East Kyle Street
Rogersville, Tennessee 37857

To be placed on the agenda, application must be filed by: 3rd Monday of the month prior to requested agenda item.

 Please do not write below this line

Approved with conditions: _____ **Approved:** _____ **Deferred:** _____

Denied _____

- 1. _____
- 2. _____
- 3. _____
- 4. _____

Date

Chairperson

APPENDIX VIII

SUGGESTED BIBLIOGRAPHY

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